

# 201 FAIRWAY DRIVE TOWNHOMES

## BRYAN, TEXAS

BUILDING CODE DATA	
BUILDING CODE:	THE INTERNATIONAL BUILDING CODE (2021 EDITION) w/ ADOPTED AMENDMENTS
ACCESSIBILITY CODE:	TEXAS ACCESSIBILITY STANDARDS
PLUMBING CODE:	THE INTERNATIONAL PLUMBING CODE (2021 EDITION) w/ ADOPTED AMENDMENTS
MECHANICAL CODE:	THE INTERNATIONAL MECHANICAL CODE (2021 EDITION) w/ ADOPTED AMENDMENTS
ELECTRICAL CODE:	THE NATIONAL ELECTRICAL CODE (2020 EDITION) w/ ADOPTED AMENDMENTS
ENERGY CODE:	THE INTERNATIONAL ENERGY CONSERVATION CODE (2018 EDITION) w/ ADOPTED AMENDMENTS
FIRE PREVENTION CODE:	THE INTERNATIONAL FIRE CODE (2021 EDITION) w/ ADOPTED AMENDMENTS
TYPE OF CONSTRUCTION:	TYPE V-B
OCCUPANCY CLASSIFICATION:	MULTI-FAMILY

ARCHITECT:  
**R.A.I. DESIGNS, INC.**

4500 CARTER CREEK  
SUITE 203  
BRYAN, TEXAS 77802  
(979) 846-3366

CLIENT:  
**TMS PROPERTIES LLC.**

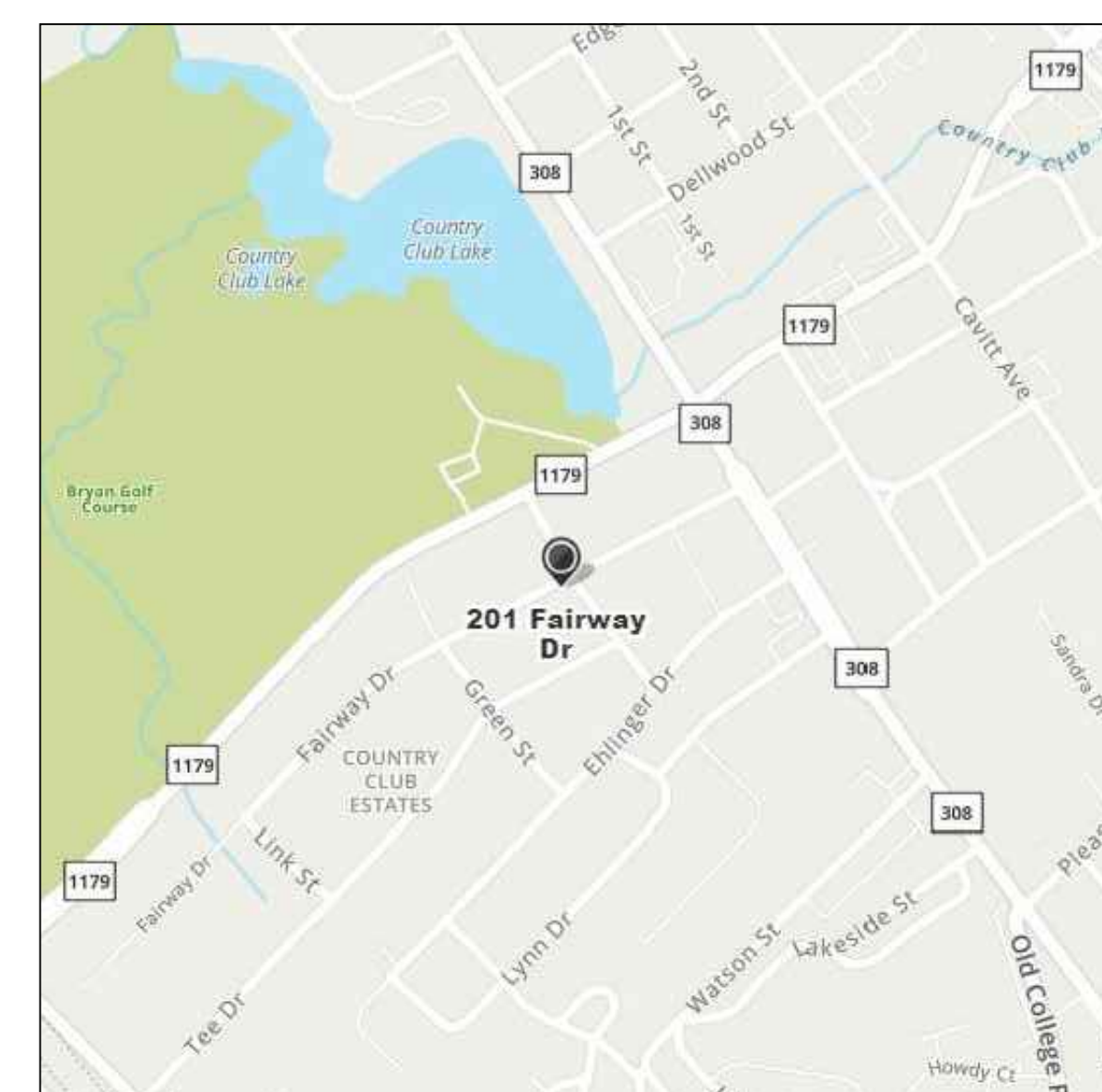
1580 COPPERFIELD PARKWAY  
COLLEGE STATION, TEXAS 77845  
(979) 703-1979

STRUCTURAL ENGINEER:  
**MLAW ENGINEERS**

2804 LONGHORN BLVD.  
AUSTIN, TEXAS 78758  
(512) 835-7000

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201 FAIRWAY UNIT AREA SUMMARY	
UNIT ONE	
1st FLOOR LIVING	1,110 SF
2nd FLOOR LIVING	945 SF
TOTAL UNIT LIVING	2,055 SF
FRONT PORCH	27 SF
OUTDOOR LIVING	80 SF
UNIT TWO	
1st FLOOR LIVING	1,110 SF
2nd FLOOR LIVING	945 SF
TOTAL UNIT LIVING	2,055 SF
FRONT PORCH	25 SF
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TOTAL UNIT LIVING	2,055 SF
FRONT PORCH	27 SF
OUTDOOR LIVING	81 SF
TOTAL FRAMED	6,482 SF
TOTAL SLAB	3,676 SF



VICINITY MAP  
SCALE: N.T.S.

3-UNIT

PROJECT SITE INFO:

201 FAIRWAY  
BRYAN, TEXAS

CLIENT:

Murphy Signature Homes

SHEET:

A-1  
OF  
SIX

DATE:  
07-11-2022

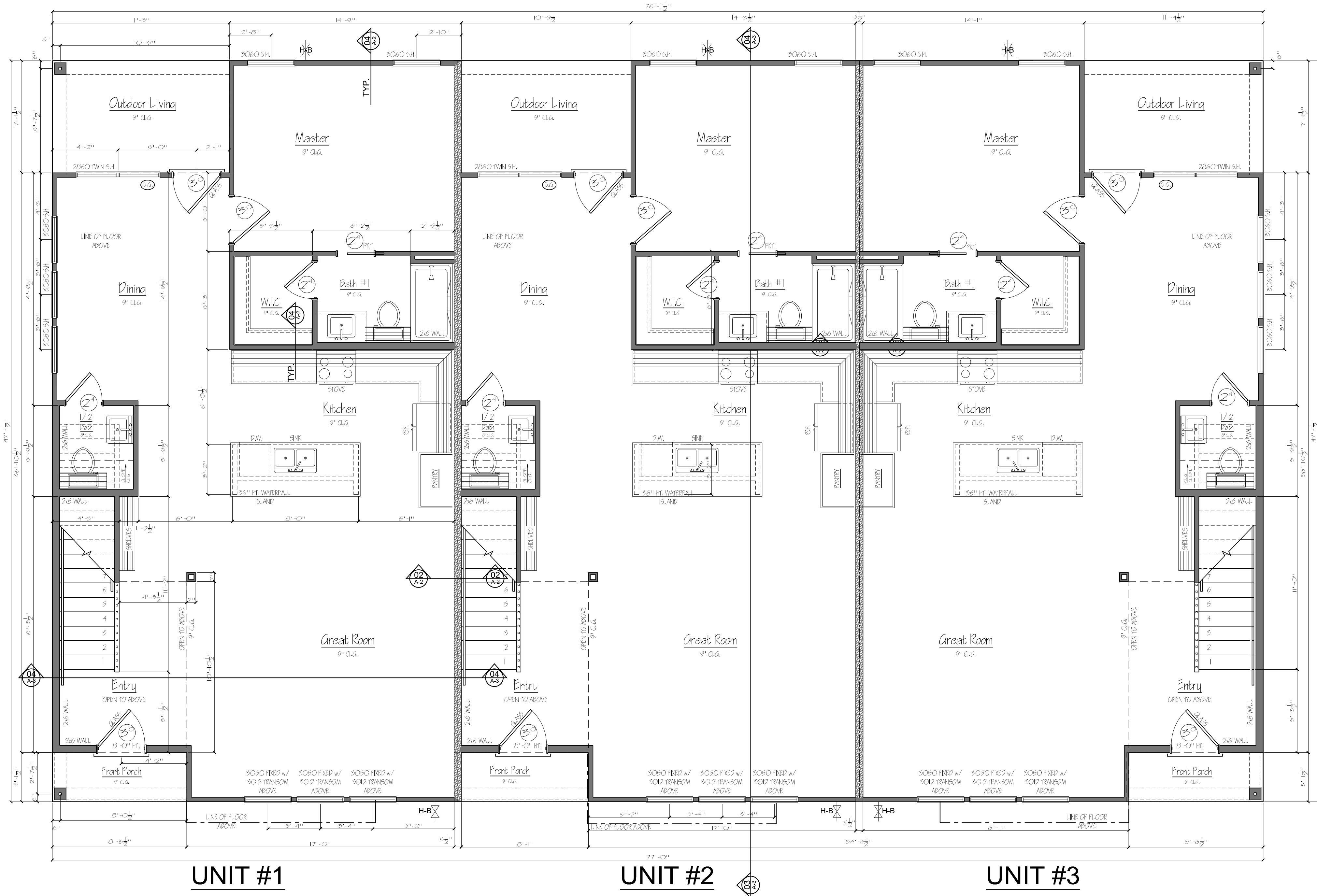
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DESIGNS, INC.

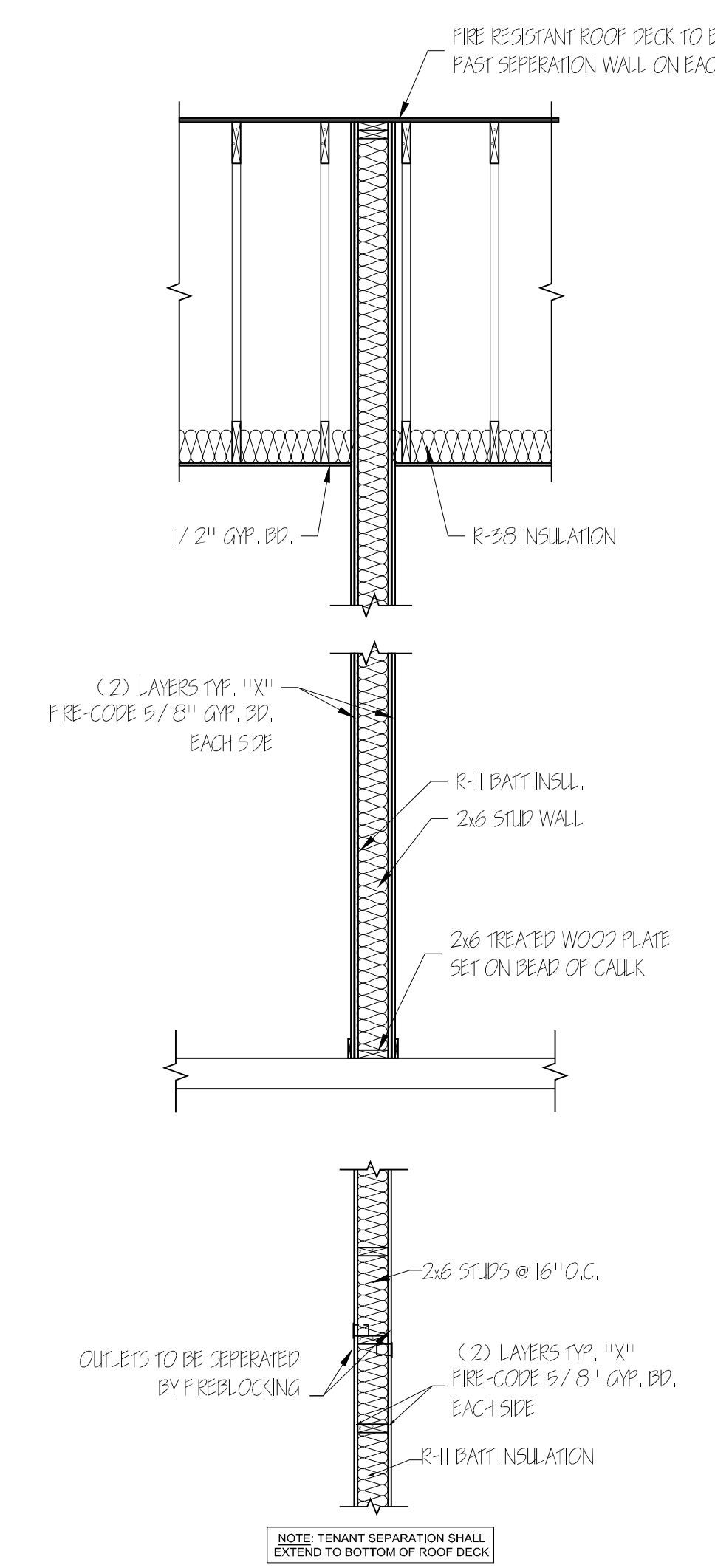
JOB# 21-078

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4500 Carter Creek Dr. #203  
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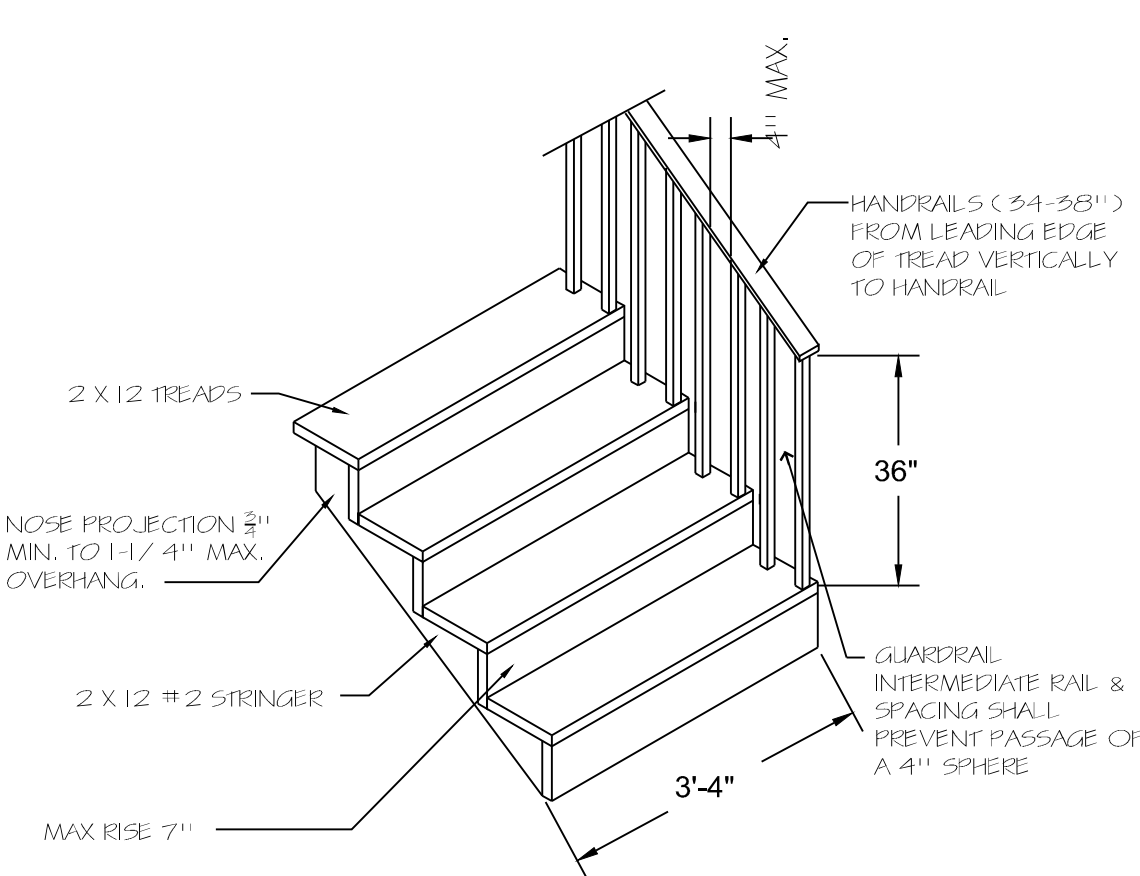


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SCALE: 1/4" = 1'-0" 01 2-HR FIRE WALL DETAIL 02

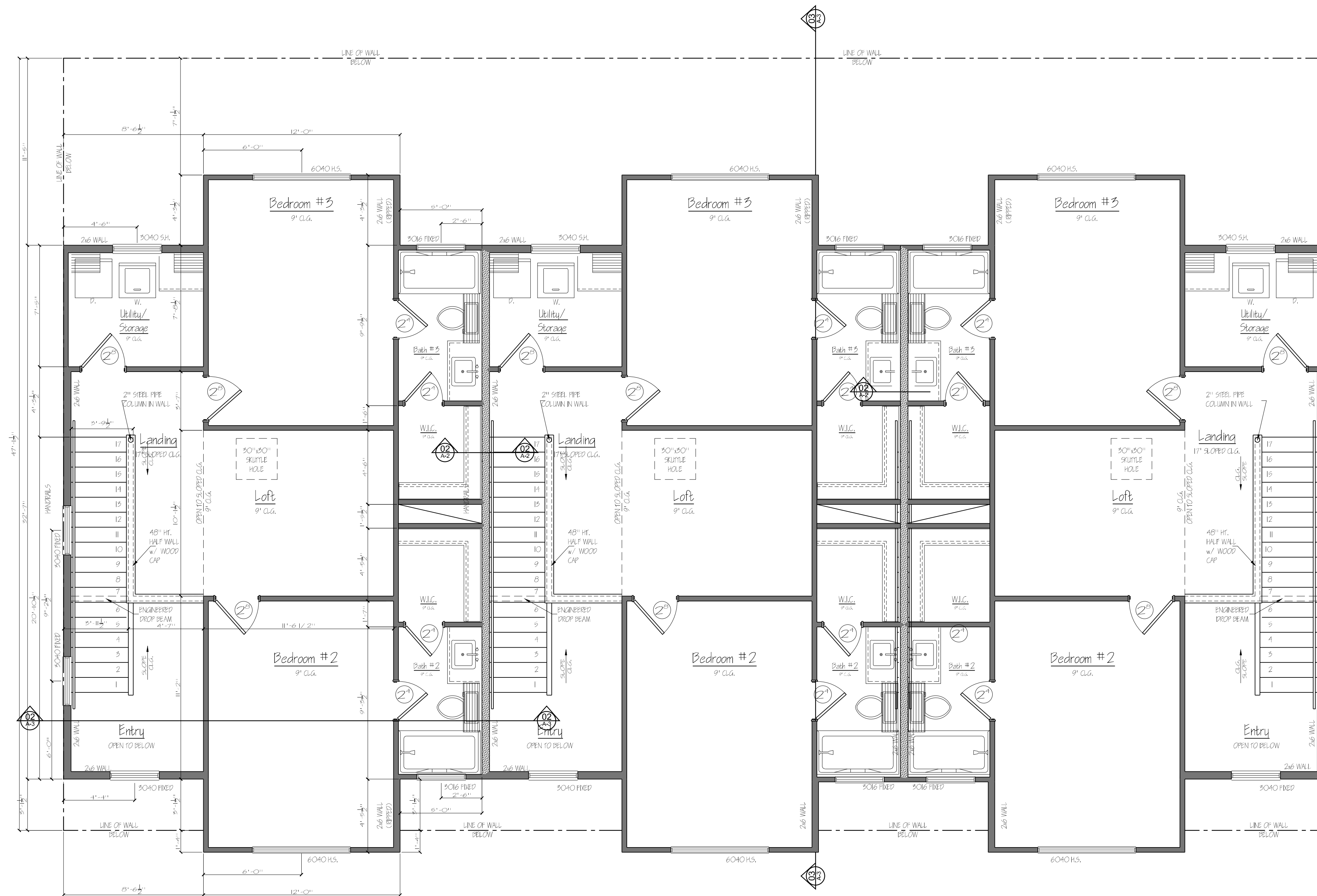
RESIDENTIAL GENERAL NOTES (UNLESS OTHERWISE NOTED)			
01	ALL WINDOWS WITHIN 2'-0" OF EXTERIOR DOOR SHALL BE MADE OF TEMPERED GLASS.	16	PROVIDE ELECTRIC DISCONNECT FOR A/C CONDITIONING UNIT (S).
02	DOORS SHALL BE 6'-8" IN HEIGHT (UNLESS OTHERWISE NOTED).	17	VERIFY LOCATION OF ANY FLOOR PLUG WITH OWNER.
03	MECHANICAL OR NATURAL VENTILATION IS REQUIRED AT ALL BATHROOMS AND UTILITY ROOMS.	18	ANY CROCKETS OR SADDLES SHALL BE APPLIED TO ROOF DECKING.
04	WALLS AND CEILINGS SHALL BE 5/8" GYPSUM BOARD (G.O.B.).	19	REFER TO ELEVATIONS FOR ROOF PITCHES.
05	WINDOWS SHALL BE VINYL, DOUBLE HUNG LOW-E AND EITHER SINGLE HUNG, FIXED, OR HORIZONTAL SLIDERS. SEE HEADER HEIGHTS ON ELEVATIONS AND SECTIONS.	20	CONTRACTOR TO VERIFY ALL EXISTING DIMENSIONS IN FIELD PRIOR TO CONSTRUCTION.
06	HEADERS SHALL BE 2" X 4" OR 2" X 6" LVL OR 2" X 6" WOOD. PROVIDE PROPER BRACING AND CONNECTIONS.	21	CONTRACTORS TO ABIDE BY ALL FEDERAL, STATE, AND LOCAL CODES.
07	BEDROOM WINDOWS SHALL BE A MAXIMUM OF 2'-6" ABOVE FINISHED FLOOR.	22	IF SHOWER HAS TILE FLOOR, THEN THE PAN LINER MUST BE INSPECTED FOR LEAKS BEFORE THE WORK IS DONE. A SPECIAL INSPECTION SHOULD BE REQUESTED AND PERFORMED.
08	CHEMICAL TREATMENT OR PHYSICAL BARRIER (SUCH AS METAL OR PLASTIC TERMITE SHIELDS) FOR PROTECTION AGAINST TERMITES. IF CHEMICAL TREATMENT IS USED, THE CONCENTRATION, RATE OF APPLICATION AND TREATMENT METHOD SHALL BE CONSISTENT WITH THE TERMITICIDE LABEL. BORACARE TREATMENT IS A SUITABLE SUBSTITUTE. ONE OF THE METHODS MUST BE USED IN CONJUNCTION WITH TREATED SILL PLATES. PROOF OF METHOD TO BE USED SHALL BE RECEIVED IN CITY OFFICE BEFORE A CERTIFICATE OF OCCUPANCY WILL BE ISSUED.	23	ALL ATTIC ACCESSIBLE AREAS SHALL BE INSULATED TO THE VALUE OF R-58.
09	ALL STRUCTURAL ITEMS SHALL BE DESIGNED BY ENGINEER.	24	U-FACTOR RATINGS FOR WINDOWS IS .40 OR LOWER.
10	CONTRACTORS SHALL FOLLOW ALL 2015 IBC AND 2014 IBC CODES AND ALL APPLICABLE AMENDMENTS PER CITY OF BRYAN.	25	THE COMBINED SOLAR HEAT GAIN COEFFICIENT (SHGC) OF ALL GLAZED PENETRATIONS/ WINDOW PRODUCTS SHALL BE .25 FACTOR OR LOWER.
11	NARROW WALL BRACING FULLY SHEATHED.	26	INSULATION IN WALL SHALL BE R-15 & CEILING SHALL BE R-58.
12	AN APPROVED EXPANSION TANK FOR THERMAL EXPANSION CONTROL SHALL BE PROVIDED FOR BUILDINGS UTILIZING STORAGE WATER HEATING EQUIPMENT AND A PRESSURE REDUCING VALVE WHICH CREATES A CLOSED SYSTEM.	27	A MINIMUM OF NO. 19 ASPHALT FELT OR OTHER APPROVED WATER RESISTIVE BARRIER SHALL BE PLACED OVER ALL EXTERIOR SHEATHING PER 2015 IBC SECTION R703.2 & 2015 IBC SECTION 1404.2
13	TWO CONNECTIONS AND BATTERY BACKUP REQUIRED FOR SMOKE DETECTORS.	28	ON NARROW WALL BRACING WHERE SPECIAL NAILING PATTERN OR HOLD DOWNS ARE REQUIRED THESE ITEMS MUST REMAIN VISIBLE UNTIL THE INSPECTION PROCESS HAS BEEN DONE TO ALLOW FOR COVER UP. A SPECIAL "APA" NAILING PATTERN INSPECTION SHALL BE PERFORMED PRIOR TO FRAMING INSPECTION AND BEFORE COVERING WITH A MOISTURE BARRIER.
14	VENT ALL EXHAUST FANS TO THE OUTSIDE.	29	IF "TIE" WATER SUPPLY PIPING IS SLEEVED BELOW THE SLAB, SEAL ANULAR SPACE AT ENDS WITH GULK, FOAM OR OTHER MEANS. ALSO ASSURE PROPER PROTECTION OF PIPE TO UV LIGHT.
15	PROVIDE LIGHT FIXTURE AND SMOKE DETECTOR AT EACH HOT WATER HEATER AND AIR CONDITIONING UNIT WHEN LOCATION IS IN ATTIC.		
		31	PERMIT CARD MUST BE POSTED ON-SITE AND TO BE VISIBLE FROM ROAD, MUST BE IN PLACE BEFORE ANY INSPECTIONS WILL BE PERFORMED.
		32	WHEN WATER MAIN PRESSURE EXCEEDS 80 PSI, AN APPROVED PRESSURE REDUCING VALVE SHALL BE PROVIDED THAT LIMITS THE MAXIMUM STATIC WATER PRESSURE TO 80 PSI.
		33	PROVIDE SANITARY FACILITIES/ PORTA-CAN FOR WORKERS ON-SITE LOCATED OFF THE PUBLIC RIGHT-OF-WAY.
		34	ALL TRASH AND DEBRIS GENERATED ON THE JOB SITE SHALL BE PICKED UP AND CONCENTRATED IN AN APPROVED AREA WITHIN THE PROPERTY BOUNDARIES.
		35	SHOWERS AND TUB/ SHOWER COMBINATIONS SHALL BE EQUIPPED WITH AN ANTI-SCALD VALVE THAT LIMITS WATER TEMPERATURE TO 120 DEGREES.
		36	ALL SILLS AND BOTTOM PLATES IN CONTACT WITH CONCRETE MUST BE TREATED OR NATURALLY RESISTANT TO INSECTS AND DECAY.
		37	MAKE SURE THAT ALL GLAZING INSTALLED IN HAZARDOUS LOCATIONS COMPLIES WITH SAFETY REQUIREMENTS OF SECTION R503 OF THE IBC.
		38	ALL PLUMBING, ELECTRICAL, AND HVAC (MECHANICAL) WORK MUST BE PERFORMED BY LICENSED CONTRACTORS. CONTACT BUILDING DEPARTMENT FOR PERMITS PRIOR TO WORK & INSPECTIONS PRIOR TO COVERING ANY WORK. (979) 209-5010.
		39	VERIFY ALL SELECTIONS WITH OWNER PRIOR TO ORDERING OR CONSTRUCTION.
		40	OWNERSHIP OF THIS PLAN AND / OR DRAWINGS BELONGS TO R.A.I. DESIGNS, INC., 4500 CARTER CREEK PKWY, SUITE 209, BRYAN, TX 77802. EVERY ATTEMPT HAS BEEN MADE BY THE DESIGNER TO INSURE THE ACCURACY OF THESE DRAWINGS. IT IS THE RESPONSIBILITY OF THE CLIENT AND CONTRACTORS TO CHECK THESE DRAWINGS AND THE PLAN BEFORE ANY CONSTRUCTION BEGINS. THE DESIGNER ASSUMES NO RESPONSIBILITY FOR OMISSIONS OR ERRORS IN THESE DRAWINGS OR THE PLAN AFTER CONSTRUCTION BEGINS. ANY CHANGE MADE ON THE JOB WITHOUT CONSULTING THE DESIGNER DUE TO CLIENT OR CONTRACTORS PREFERENCE OR ERROR ON PLANS, SITE PLANS, DRAWINGS, ETC. IS NOT THE RESPONSIBILITY OF THE DESIGNER AND THE OWNER. THIS PLAN AND / OR DRAWINGS MAY NOT BE USED FOR REPEAT CONSTRUCTION WITHOUT THE WRITTEN APPROVAL OF R.A.I. DESIGNS, INC.



NOTES 03 TYPICAL STAIR DETAIL 04

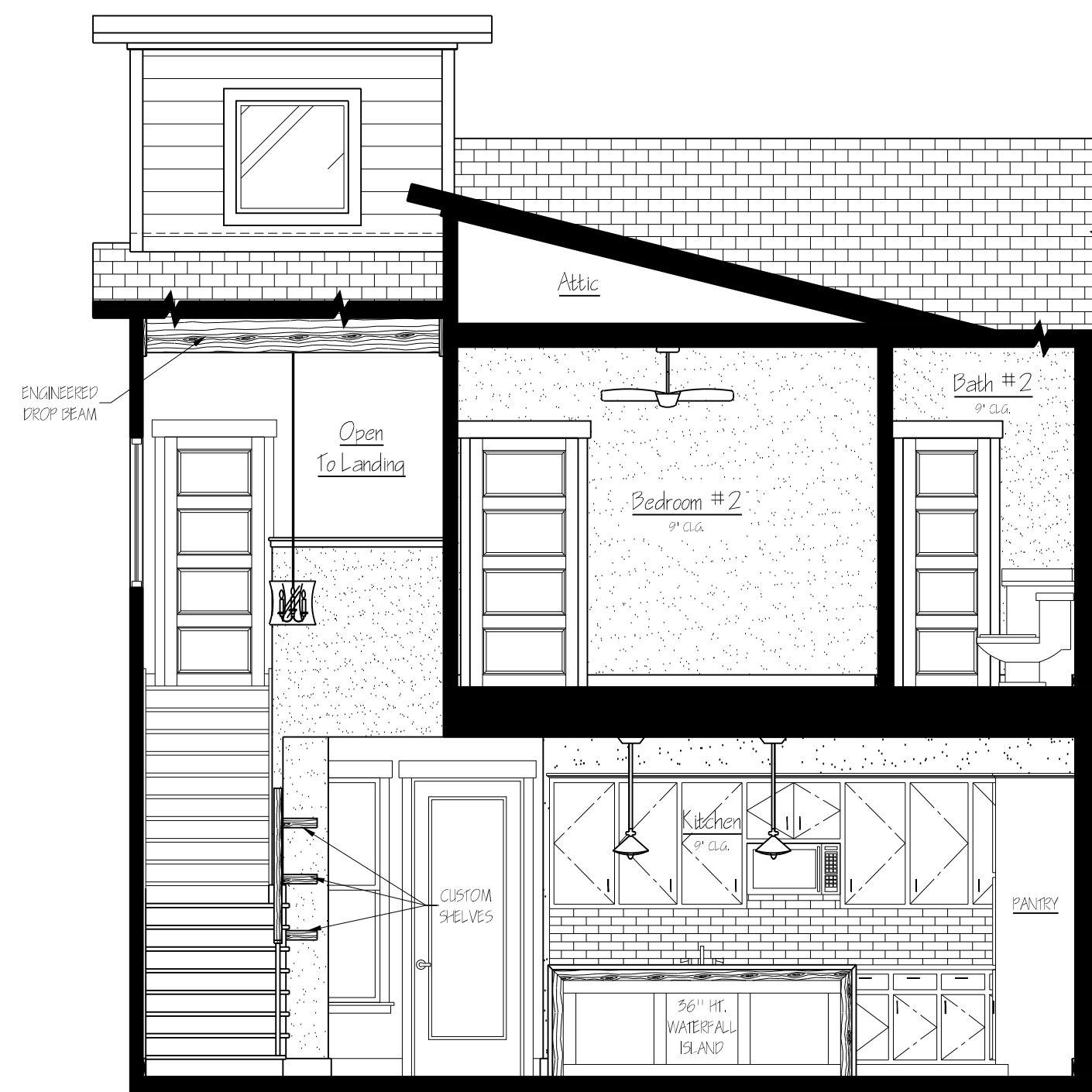
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 4500 Carter Creek Dr. #203  
 Bryan, TX 77802  
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**R.A.I. DESIGNS, INC.**  
 JOB# 21-078  
**3-UNIT**  
 PROJECT SITE INFO:  
 201 FAIRWAY  
 BRYAN, TEXAS  
 CLIENT:  
 Murphy Signature Homes  
 SHEET:  
**A-2**  
 OF  
 SIX  
 DATE:  
 07-11-2022





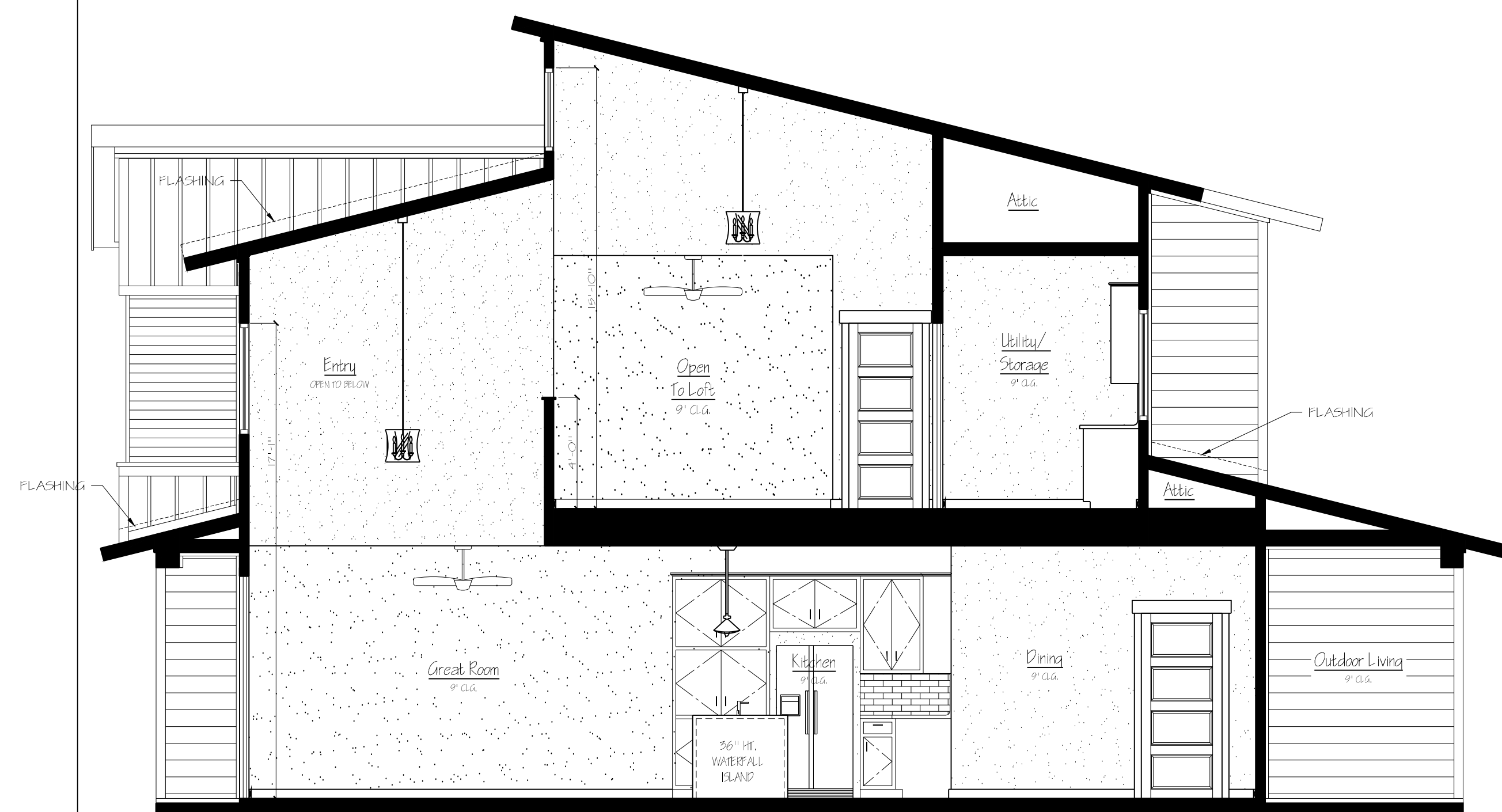
LEVEL 2 FLOOR PLAN

SCALE: 3/16" = 1'-0" | 01



INTERIOR SECTION

SCALE: 3/16" = 1'-0" | 02



INTERIOR SECTION

SCALE: 3/16" = 1'-0" | 03

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TOTAL SLAB	3,676 SF

SCALE: N.T.S. | 04

3-UNIT

PROJECT SITE INFO:

201 FAIRWAY  
BRYAN, TEXAS

Murphy Signature Homes

CLIENT:

SHEET:

A-3  
OF  
SIX

DATE:  
07-11-2022

JOB# 21-078

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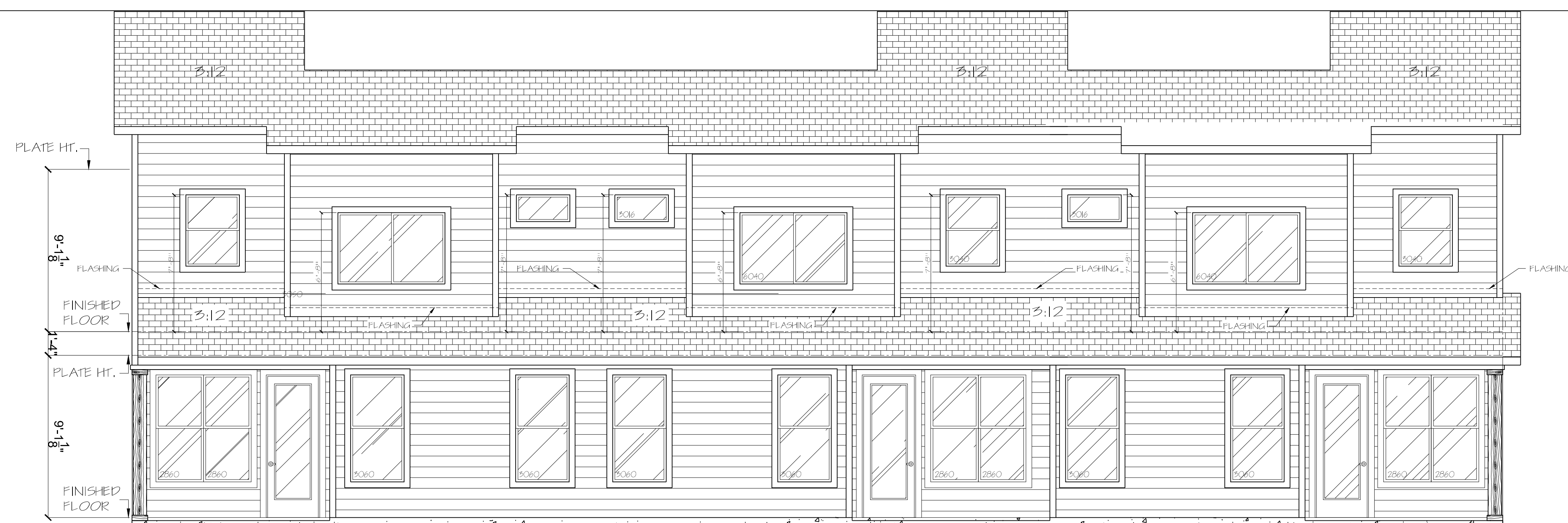
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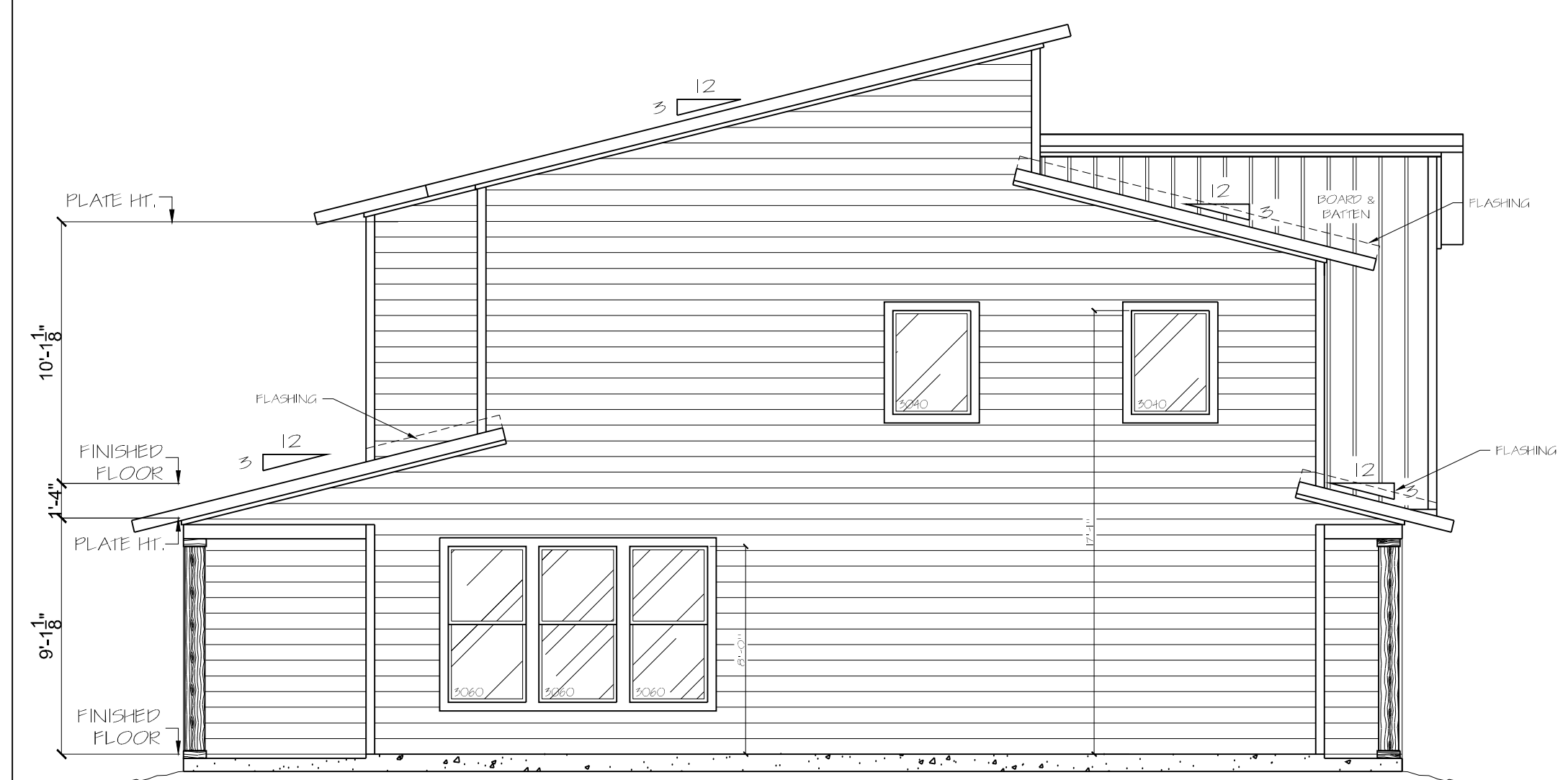
FRONT ELEVATION

SCALE: 3/16" = 1'-0" | 01



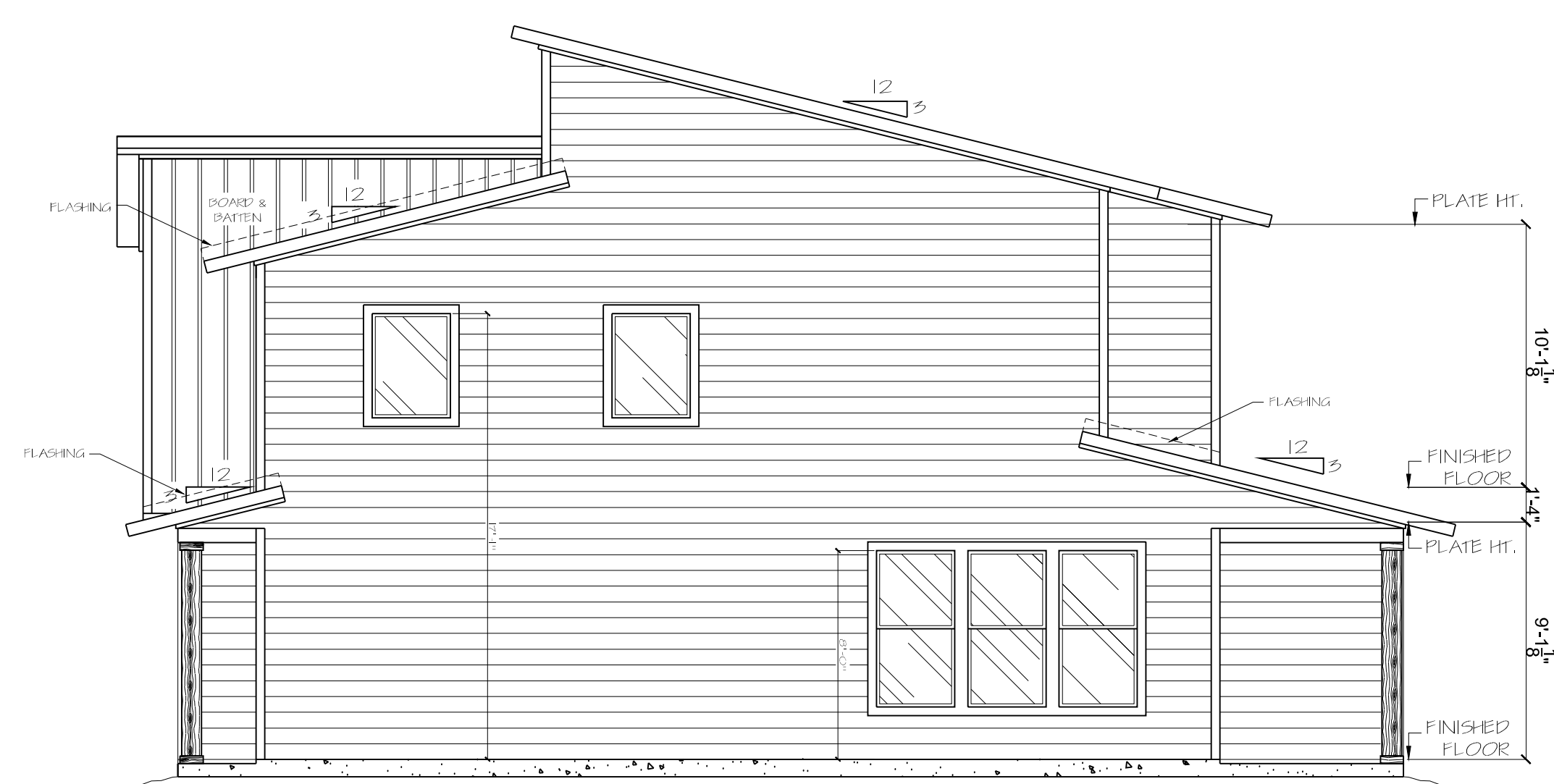
REAR ELEVATION

SCALE: 3/16" = 1'-0" | 02



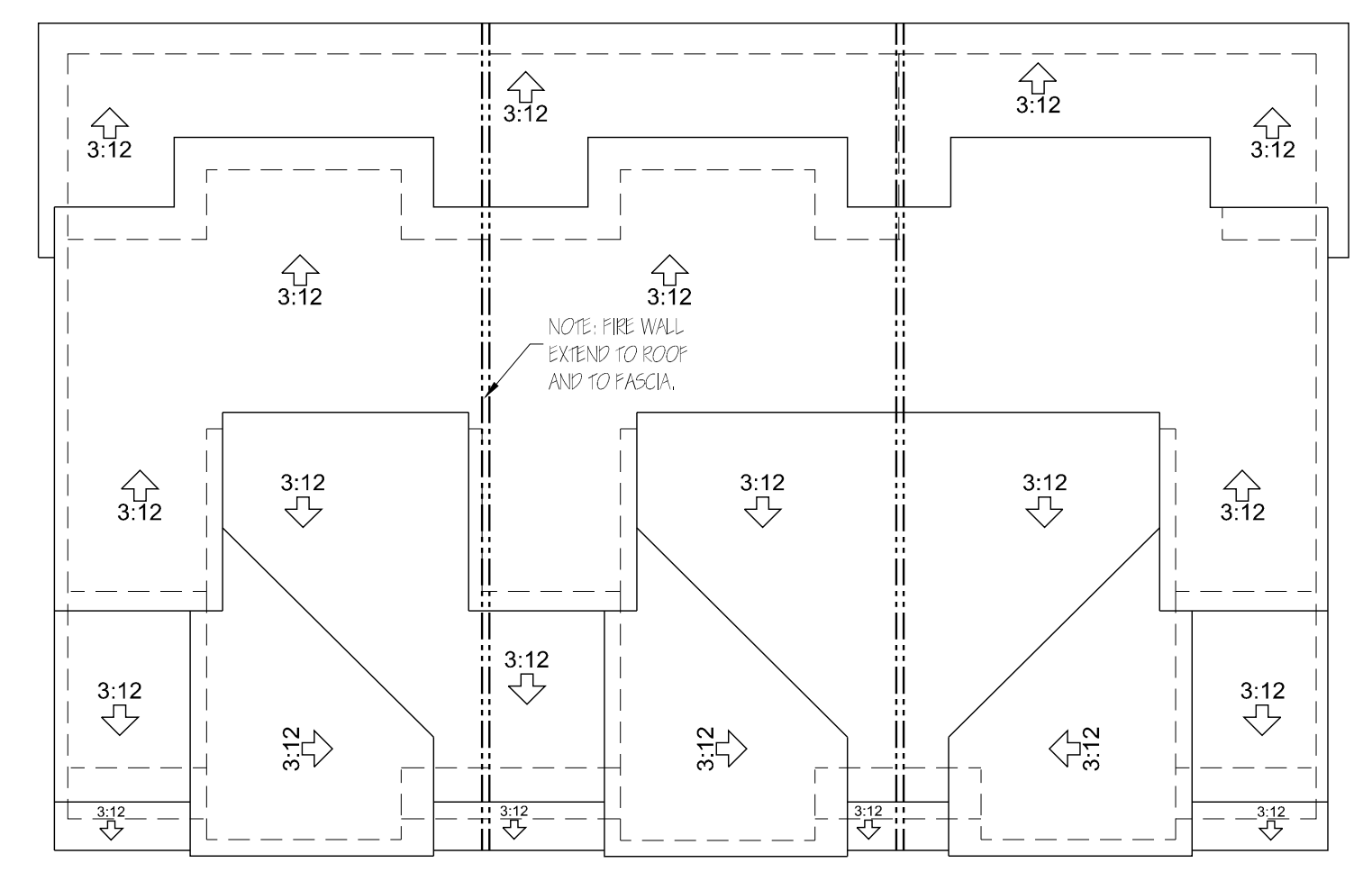
LEFT ELEVATION

SCALE: 3/16" = 1'-0" | 03



RIGHT ELEVATION

SCALE: 3/16" = 1'-0" | 04



ROOF PLAN

SCALE: N.T.S. | 05

3-UNIT

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BRYAN, TEXAS

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Murphy Signature Homes

JOB# 21-078

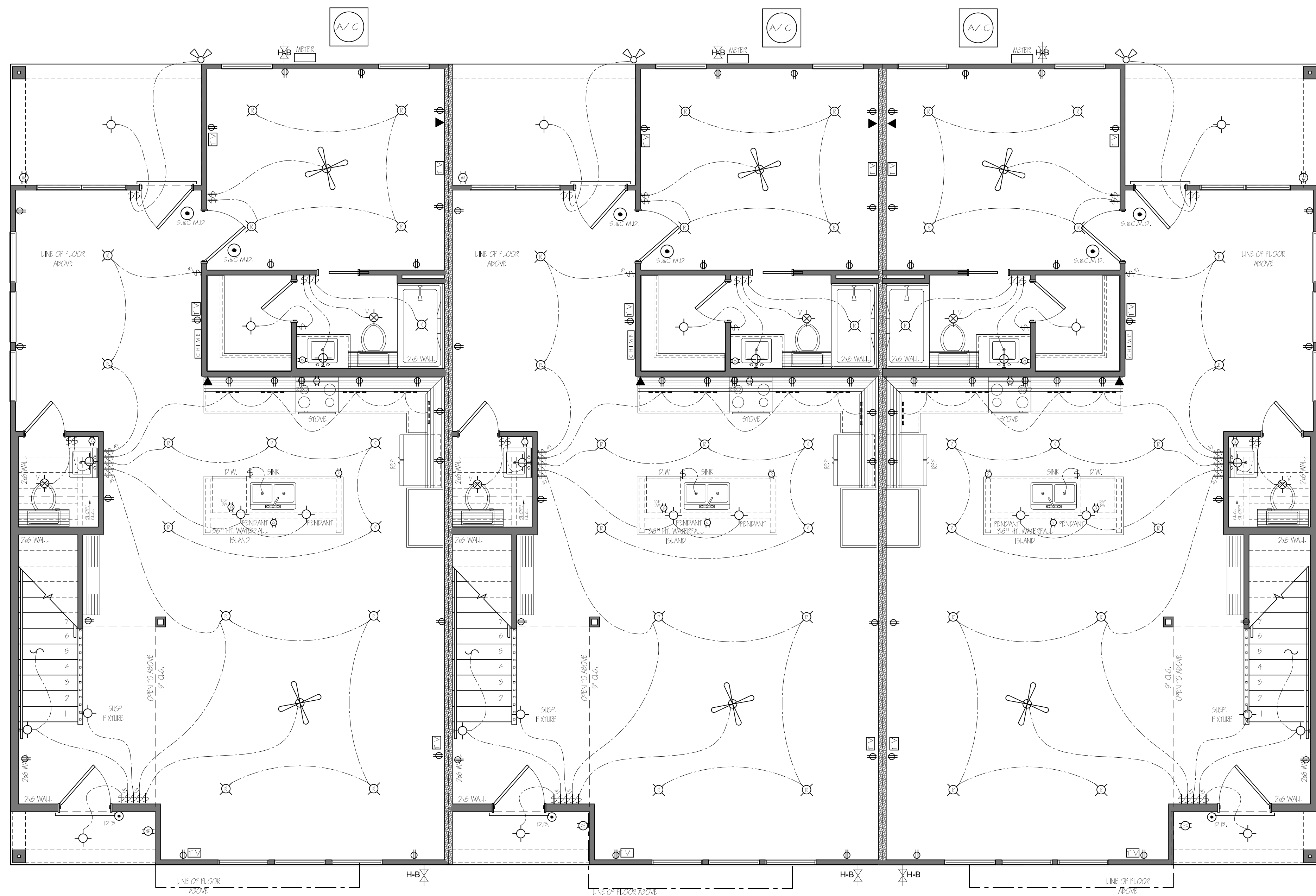
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SHEET: **A-4**  
OF SIX  
DATE: 07-11-2022





ELECTRICAL LEGEND			
⊕	110 VOLT OUTLET	⊕	LIGHT FIXTURE
⊕	220 VOLT OUTLET	⊕	WALL-HUNG LIGHT
⊕	GFI OUTLET	⊕	COACH LIGHT
⊕	DISPOSAL / DISHWASHER OUTLET	⊕	RECESSED LIGHT
⊕	WATER-PROOF OUTLET	⊕	VENT
⊕	VENTHOOD VOLT OUTLET	⊕	VENT-LIGHT
⊕	CEILING MTD. VOLT OUTLET	⊕	FLOOD LIGHT
⊕	ELECTRIC SWITCH	⊕	CEILING FAN
⊕	3-WAY SWITCH	⊕	FLORESCENT LIGHT-SET
⊕	3-WAY DIMMER SWITCH	⊕	
⊕	DOORBELL	⊕	TELEPHONE JACK
⊕	DOORBELL CHIME	⊕	WALL MOUNTED TELEPHONE JACK
⊕	GAS LINE	⊕	"CAT 5" TELEPHONE JACK
⊕	A/C PAD	⊕	CABLE TV JACK
⊕	CARBON MONOXIDE & SMOKE DETECTOR	⊕	"RG-6" CABLE JACK
⊕	SMOKE DETECTOR	⊕	SPEAKER WIRE

\*ELECTRICAL SHALL BE INSTALLED PER 2018 NATIONAL ELECTRICAL CODE (N.E.C.) LOCAL AMENDMENTS.  
 \*CARBON MONOXIDE DETECTORS TO BE INSTALLED OUTSIDE OF BEDROOM AREAS, IF HOUSE HAS GAS FIRED APPLIANCES OR ATTACHED GARAGE.  
 \*TAMPER RESISTANT OUTLETS, ALL 110V RECEPTACLES.  
 \*ARC FAULT PROTECTION PER CODE. MOST OUTLETS REQUIRED TO BE PROTECTED.  
 \*50% OF LIGHTING TO BE HIGH EFFICACY LIGHTING.  
 \*ALL BRANCH CIRCUITS THAT SUPPLY OUTLETS IN DWELLING UNIT FAMILY ROOMS, DINING, LIVING, PARLORS, LIBRARIES, BEDROOMS, SUNROOMS & SIMILAR ROOMS SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER (S).  
 \*ALL 120V, 15 & 20 AMP. RECEPTACLES SHALL BE LISTED TAMPER RESISTANT RECEPTACLES.  
 \*ASSURE PROPER GFI LOCATIONS, INCLUDING ONE WITHIN 25' OF OUTSIDE A/C UNIT.  
 \*ANY DEDICATED GARAGE APPLIANCES CIRCUITS WILL NEED TO BE GFI PROTECTED.  
 \*ELECTRIC STRIP HEATING IS NOT ALLOWED FOR RESIDENTIAL USE PROPERTIES WITH FLOOR AREA GREATER THAN 900 SQ.FT.  
 \*A MINIMUM OF 50% OF THE PERMANENTLY INSTALLED LIGHTING FIXTURES ARE TO BE HIGH EFFICACY LAMPS.  
 \*SMOKE DETECTORS MUST HAVE MIN. 3" CLEARANCE FROM FORCED AIR.  
 \*SMOKE DETECTORS SHALL BE INTERCONNECTED, 120V w/ BATTERY BACKUP AND LOCATED IN EACH SLEEPING ROOM AND OUTSIDE OF EACH BEDROOMS DUCTS, CEILING FANS, AND RETURN AIR.  
 \*RECESSED LIGHTING INSTALLED IN THE BUILDING ENVELOPE SHALL BE IC RATED AND SEALED TO PREVENT AIR LEAKAGE.

3-UNIT

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Murphy Signature Homes

SHEET:  
A-5  
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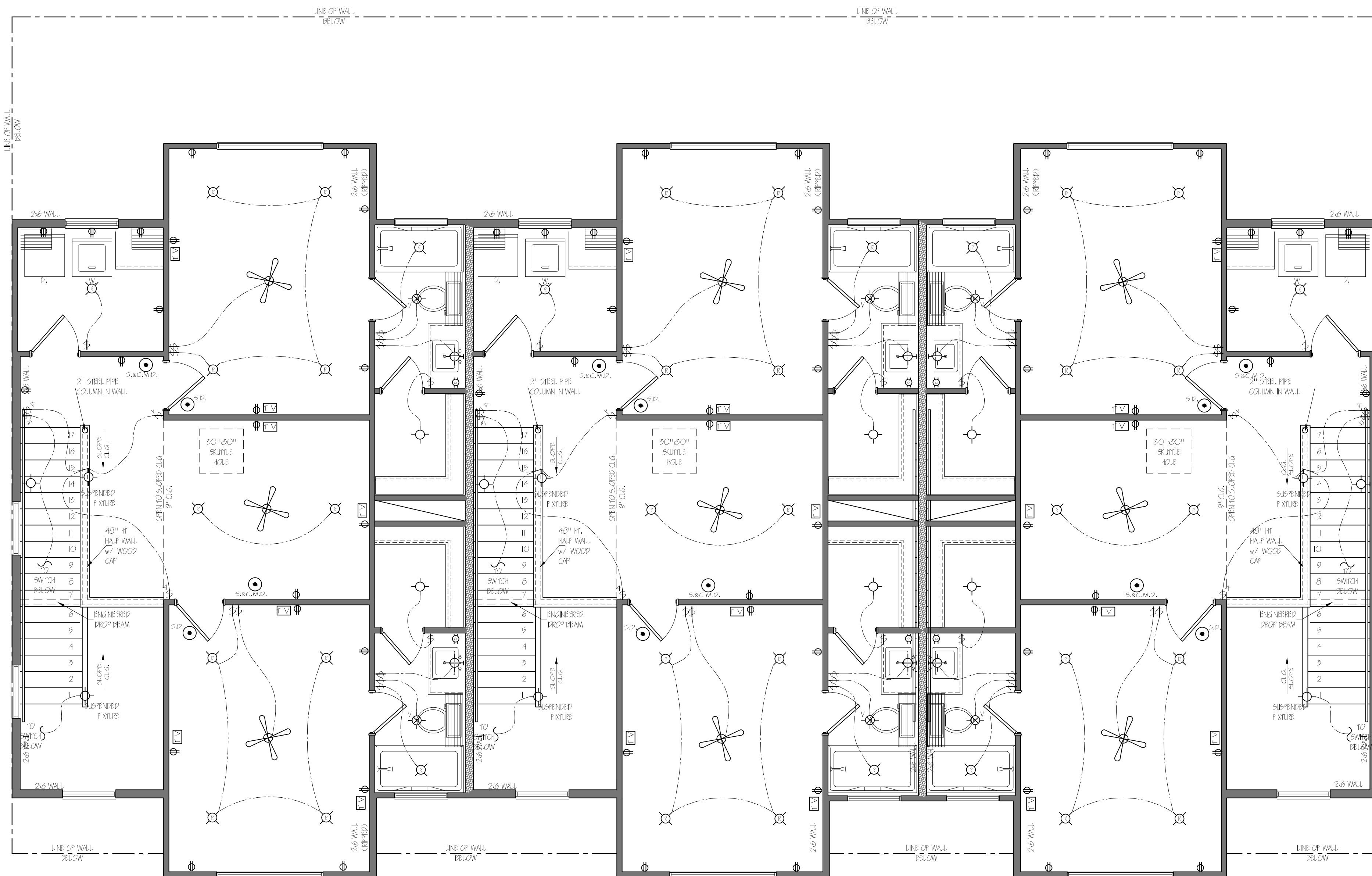
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	WATER-PROOF OUTLET		VENT
	VENTHOOD VOLT OUTLET		VENT-LIGHT
	CEILING MTD. VOLT OUTLET		FLOOD LIGHT
	ELECTRIC SWITCH		CEILING FAN
	3-WAY SWITCH		FLORESCENT LIGHT-SET
	3-WAY DIMMER SWITCH		
	DOORBELL		TELEPHONE JACK
	DOORBELL CHIME		WALL MOUNTED TELEPHONE JACK
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